

The drawings are prepared and to be used for the construction of the subject project by the contractor. The contractor shall be responsible for obtaining all necessary permits and for the accuracy of the information provided. The contractor shall be responsible for the accuracy of the information provided. The contractor shall be responsible for the accuracy of the information provided.

DATE: 1-28-08

SITE ADDRESS: 90XX 126TH AVE NE KIRKLAND, WA 98033

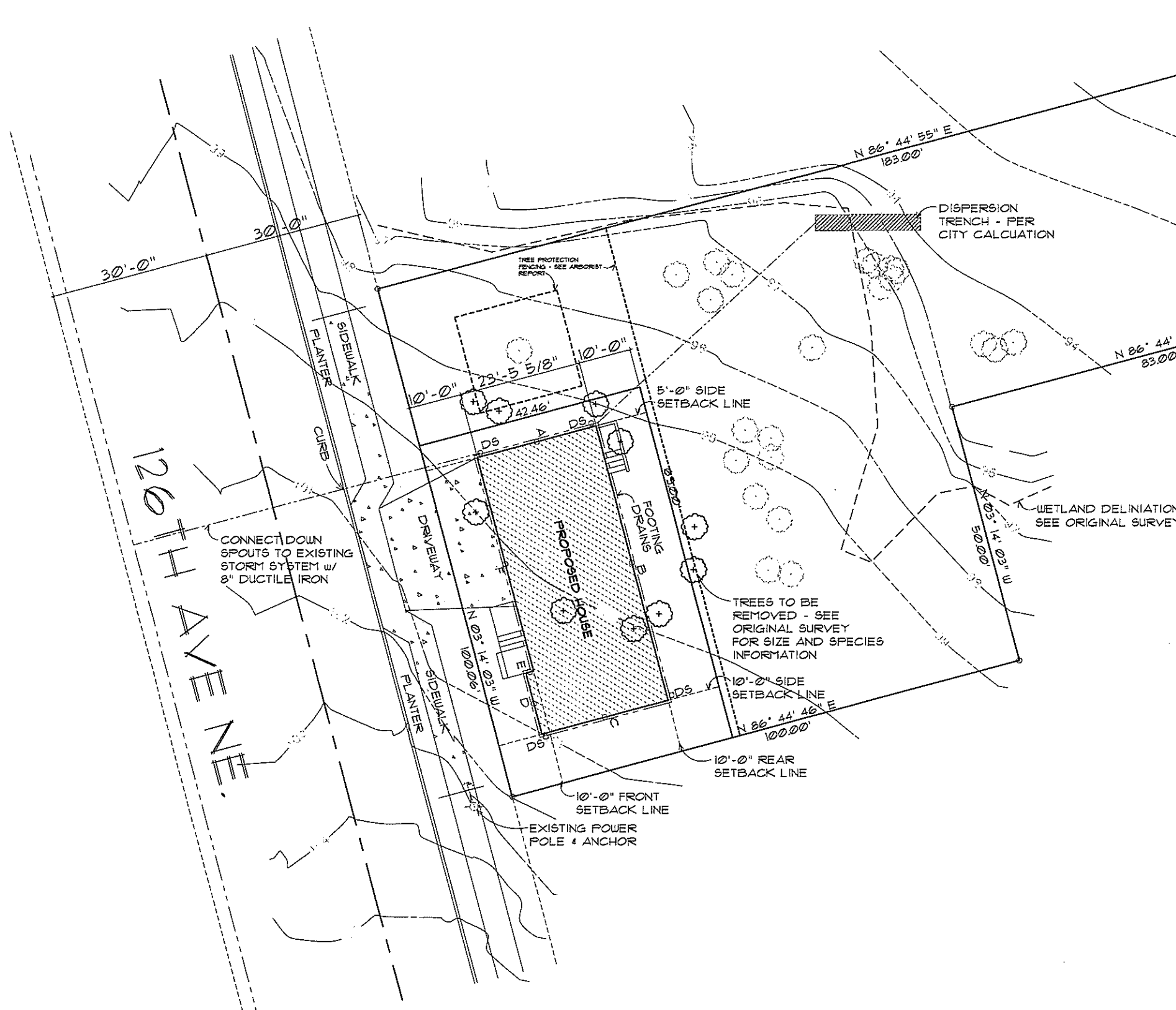
PROJECT TITLE: ROSTAD RESIDENCE

SITE PLAN

FILE NO: 0100

SHEET

SITE



LEGAL DESCRIPTION

THE WEST 183 FEET OF LOT II, BLOCK 39, BURKE AND FARRAR'S KIRKLAND ADDITION TO THE CITY OF SEATTLE, DIVISION NO. 14 ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 20 OF PLATS, PAGE 14, RECORDS OF KING COUNTY, WASHINGTON;

EXCEPT THE SOUTH 50 FEET OF THE EAST 83 FEET OF THE WEST 183 FEET OF LOT II.

SUBJECT TO EASEMENTS, CONDITIONS, RESTRICTIONS, RESERVATIONS, PROVISIONS, AGREEMENTS AND COVENANTS OF RECORD, IF ANY.

AREA CALCULATIONS

AREA SUMMARY

TOTAL LOT AREA = 14,159 SF. (32 ACRES)

IMPERVIOUS SURFACES

IMPERV. PATIO/DRIVEWAY/WALKS = 613 SF.
PROPOSED BUILDING FOOTPRINT = 1,286 SF.
TOTAL (ALL) = 1,899 SF.

TOTAL IMPERVIOUS = 1,899 SF. / 14,159 = 13.4%

FLOOR AREA RATIO

MAIN FLOOR = 1,287 SF.
UPPER FLOOR = 1,235 SF.
BASEMENT FLOOR = 532 SF.
BONUS ROOM = 615 SF.

TOTAL (ALL) = 3,669 SF.

TOTAL = 3,669 SF. / 14,159 = 25.9%

TREE DENSITY CALCULATION:

TOTAL = 14,159 SF. / 43,560 x 30 = 9.75 TREES

HEIGHT CALCULATION

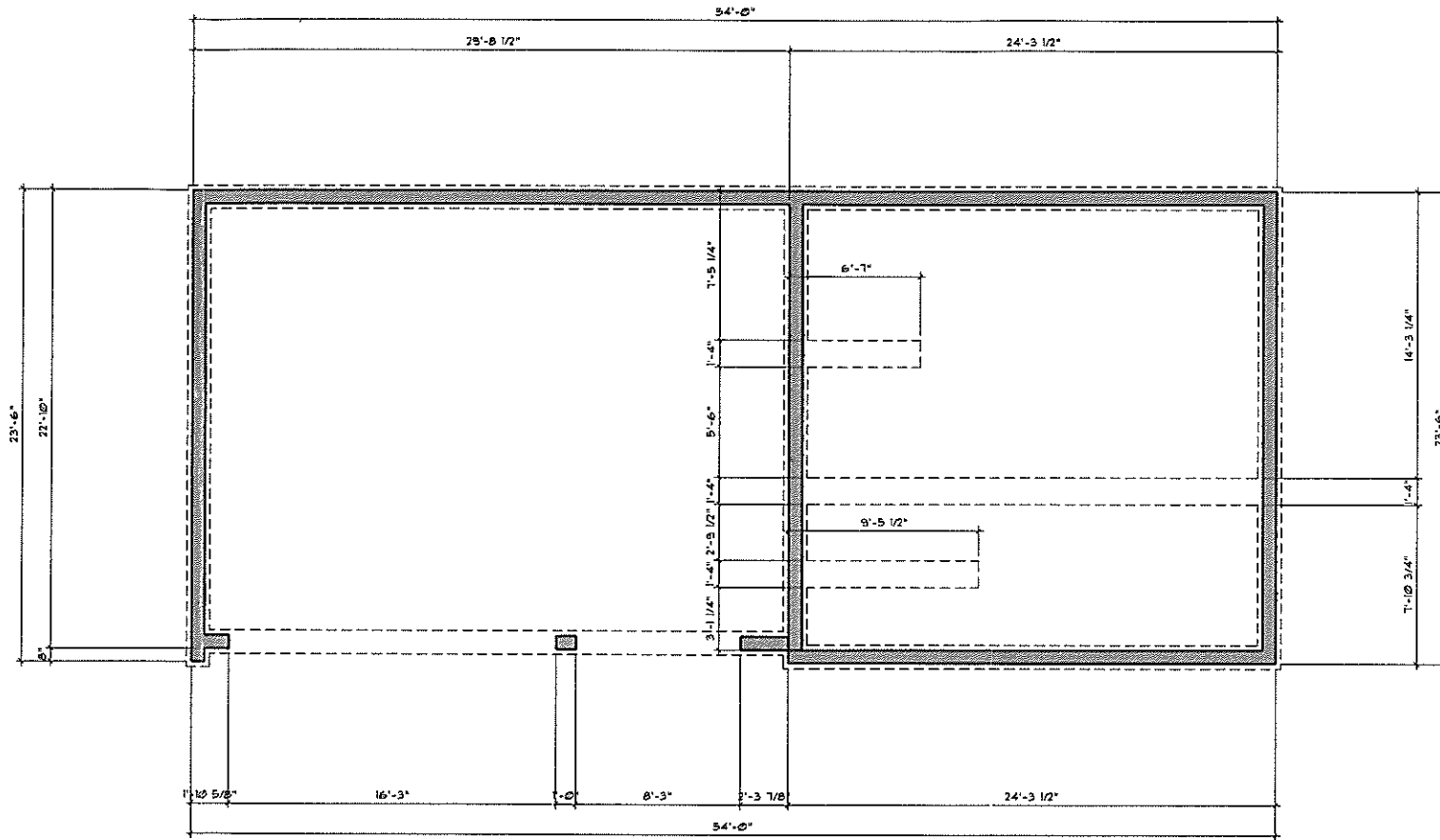
MIDPOINT EL.	WALL LENGTH	
A = 99.40'	23'-6"	2335.90'
B = 99.70'	54'-0"	5383.80'
C = 100.70'	25'-0"	2517.50'
D = 100.80'	12'-0"	1209.60'
E = 100.70'	1'-6"	151.05'
F = 100.20'	42'-0"	4208.40'

TOTAL 158'-0" 15,808.25'

AVERAGE ELEVATION = 15,808.25/158 = 100.05'

SITE PLAN

SCALE: 1" = 10'-0"



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

NOTES:

- ALL FOUNDATION STEM WALLS TO BE 8" THICK UNO.
- ALL FTGS. TO BEAR ON UNDISTURBED SOIL MIN. 1500 LB. P.S.F.
- SOLID BLOCKING OVER SUPPORTS.
- FOUNDATION STEEL STRUCTURAL ENGINEER - SEE CALCS.
- ALL BEAMS TO BE 4x10 D.F. 2 UNLESS NOTED OTHERWISE.
- 6 MIL. BLACK VAPOR BARRIER OVER ENTIRE CRAWL AREA. 18" MIN. CLEARANCE UNDER FLOOR JOISTS.
- SEE MAIN FLOOR FRAMING PAGE FOR FOUNDATION VENTILATION.
- ALL WOOD IN CONTACT W/ CONCRETE TO BE PRESSURE TREATED.
- ALL METAL CONNECTORS IN CONTACT W/ PRESSURE TREATED MATERIAL TO BE "Z-MAX" CORROSION RESISTANT MATERIAL OR EQUAL.
- WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE ARCHITECT/DESIGNER SHALL BE INFORMED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS PRIOR TO CONSTRUCTION.

ANCHOR BOLTS AND SPACING PER ENGINEER

- [18] - 18"x18"x10" CONC. PAD W/ (2) #4 BARS EA. WAY
- [24] - 24"x24"x12" CONC. PAD W/ (3) #4 BARS EA. WAY

The drawing is copyrighted and is to be used only for the construction of the subject project by the client or Home Design Northwest, L.L.C. Under no circumstances will this drawing be used for any other project. The client will be notified of any variations from the drawings under conditions of the contract. The contractor shall accept full responsibility for each to rectify any errors.

DATE:
1-28-20

SITE ADDRESS:
90XX 126TH AVE NE
KIRKLAND, WA 98033

PROJECT TITLE:
ROSTAD RESIDENCE

FOUNDATION PLAN

FILE NO:

0100

SHEET

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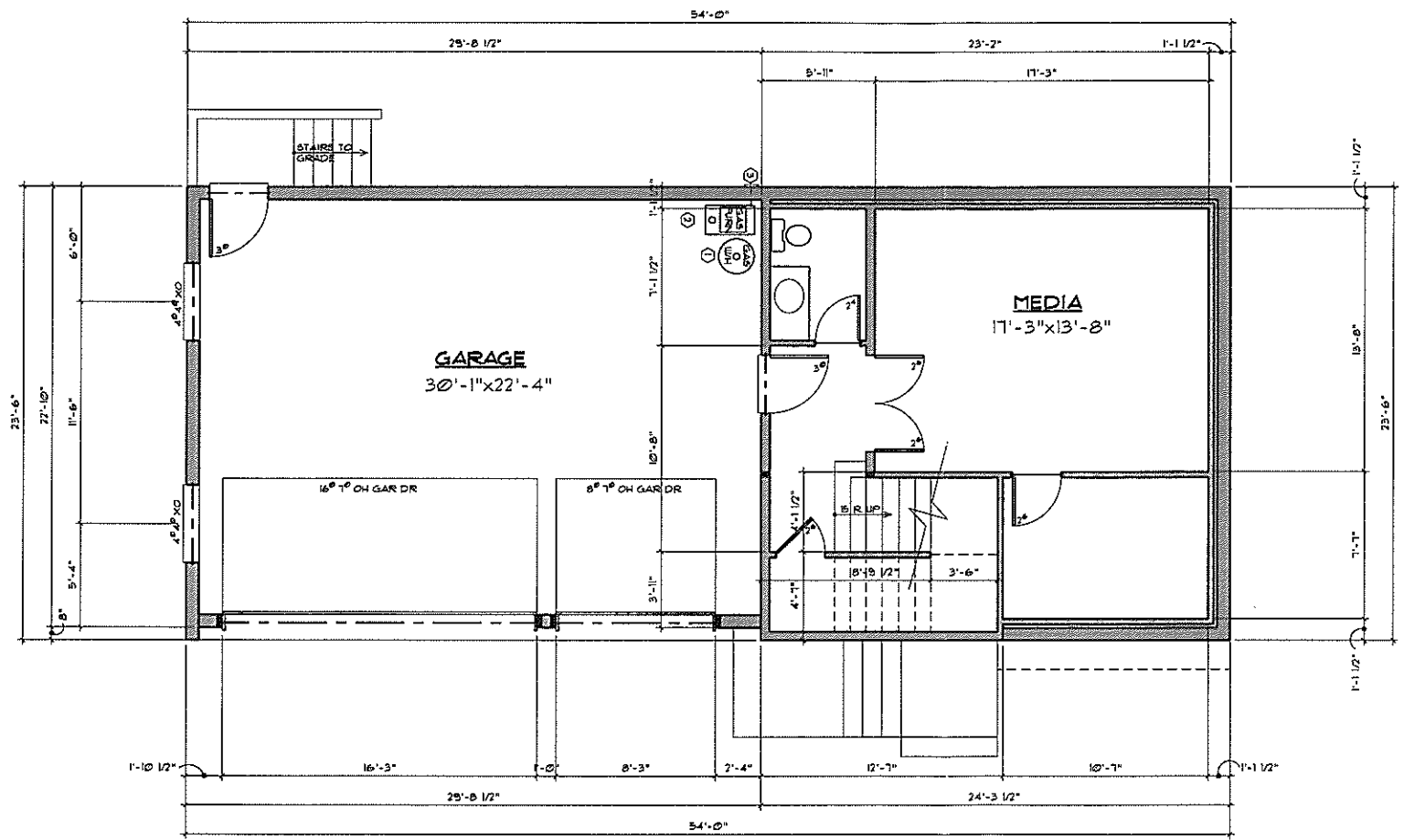
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DATE: 1-28-08

SITE ADDRESS: 90XX 126TH AVE NE
 KIRKLAND, WA 98033

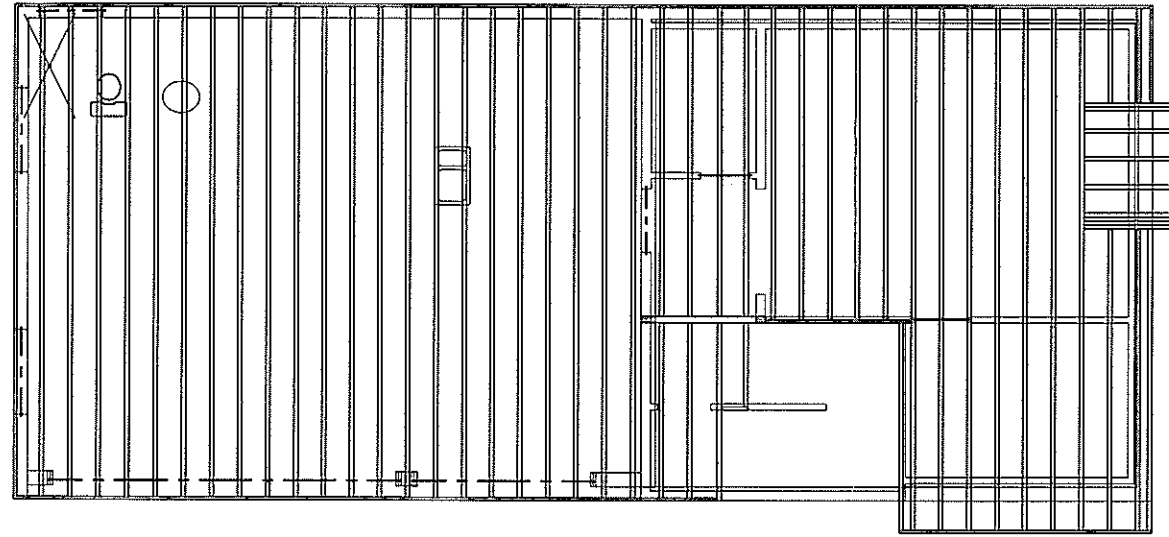
PROJECT TITLE: ROSTAD RESIDENCE
 LOWER FLOOR PLAN

FILE NO: 0100
 SHEET 2 of 12



BASEMENT FLOOR PLAN
 SCALE: 1/4" = 1'-0"

- NOTES:**
- ALL BEAMS & HEADERS TO BE 4x10 D.F. 2 UNO.
 - ALL GULL-LAY BEAMS TO BE ASSYED 2x4-1/4 UNO.
 - TYPICAL PLATE TO BE 2-1/8" UNO.
 - TOP OF WINDOWS TO BE 6'-10" UNO.
 - ALL EXTERIOR WALLS TO BE 2x6 @ 16" O.C. UNLESS NOTED OTHERWISE.
 - ALL EXTERIOR WALLS TO BE INSULATED w/ R-21 INSULATION.
 - ■ DENOTES DOUBLE TRIPPERS AT EACH END OF HEADER THAT SPANS 6'-0" OR GREATER.
 - ■ DENOTES MULTIPLE STUDS UNDER POINT LOADS. SEE PLAN FOR NUMBER OF STUDS REQUIRED.
 - ○ ALL SMOKE DETECTORS TO BE HOT WIRED AND INTERCONNECTED w/ BATTERY BACKUP.
 - SMOKE DETECTOR TO BE ON THE CEILING INSIDE THE DOOR OF EACH BEDROOM.
 - SMOKE ALARMS TO BE AUDIBLE IN ALL BEDROOMS AND SLEEPING AREAS.
 - ALL HOUSE/GARAGE COTTON WALLS TO BE SHEATHED w/ 1/2" G.W.B.
 - 3/8" TYP 1" OH GARAGE CEILING w/ LIVING SPACE ABOVE.
 - ALL ENCLOSED USEABLE SPACE UNDER STAIRS TO BE SHEATHED w/ 1/2" G.W.B.
 - ALL WINDOWS WITHIN 18" OF THE FLOOR OR WITHIN 24" OF DOOR SINGS, TUBS, AND SHOWERS, TO BE TEMPERED SAFETY GLASS.
 - DOOR BETWEEN HOUSE & GARAGE TO BE 1 3/8" SOLID CORE 1 HR RATED FIRE DOOR.
 - FIRE BLOCKING REQUIRED AT 10'-0" INTERVALS VERTICALLY IN WALLS.
 - FIRE BLOCK AT ALL PLUMBING PENETRATIONS.
 - HANDRAIL @ 34"-38" ABV. TREAD NOSING.
 - INSTALL FIREPLACES PER MANUFACTURER'S SPECS.
 - VENT ALL FANS & DRYER EXHAUST TO OUTSIDE.
 - PROVIDE EGRESS WINDOWS IN ALL SLEEPING ROOMS.
- ① - WATER HEATER PER 81 NAECA. WATER HEATER & FURNACE TO BE STRAPPED & BOLTED TO RESIST SEISMIC MOVEMENT. USE UL APPROVED STRAPPING MATERIAL & METHODS.
 - ② - HEAT ELEMENTS TO BE 18" ABOVE CONCRETE SLAB.
 - ③ - OUTSIDE AIRDUCT 26 GAUGE METAL WITH ALL JOINTS TIGHTLY SEALED 8" DIA. w/ MOTORIZED DAMPER CONTROL 3" DOWN FROM TOP E. & 1/2"x8 1/2" SQUARE.



MAIN FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

CRAWL SPACE VENTILATION

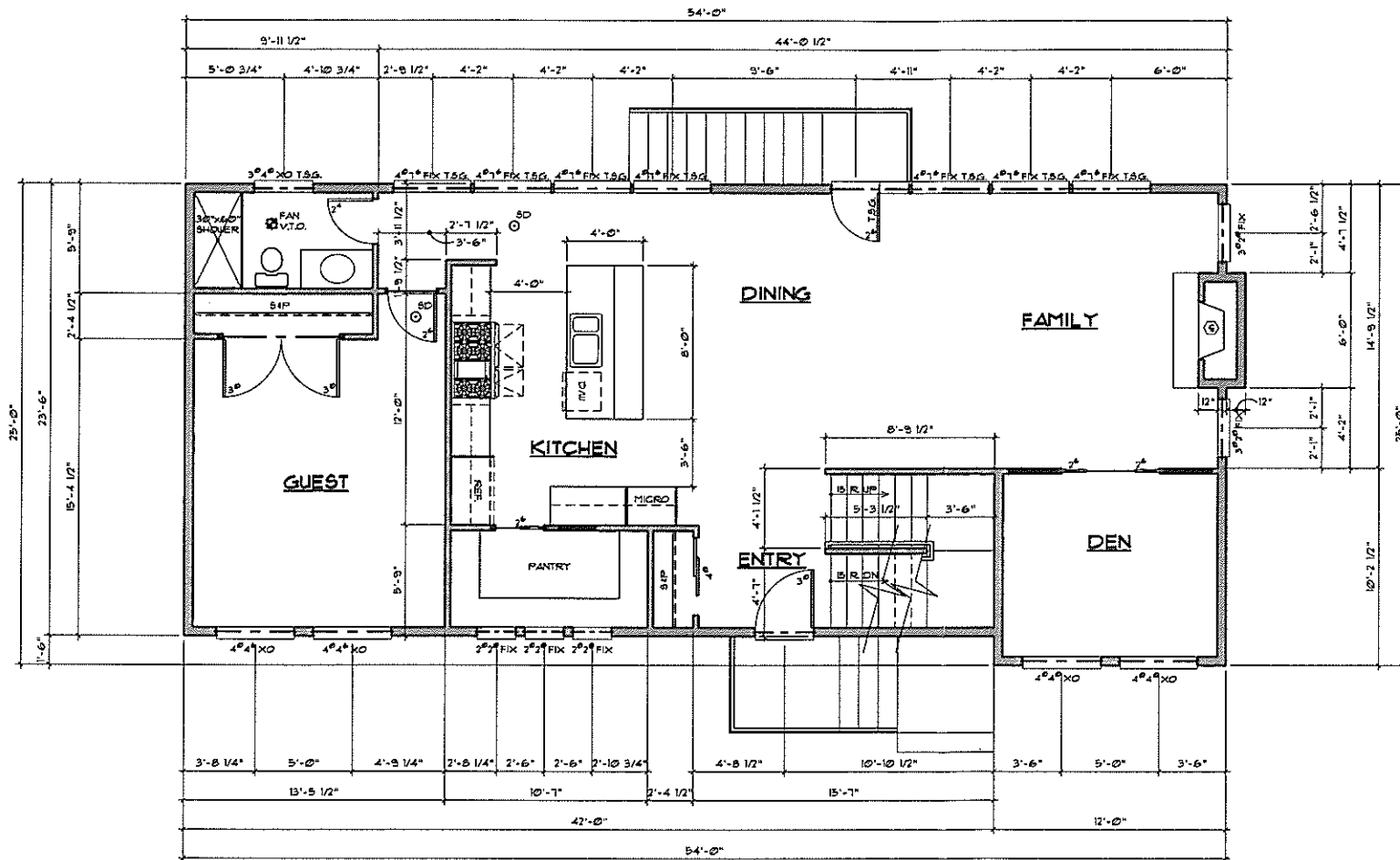
$\frac{610}{300} \times \frac{144}{144} = 7.03$ SQ. FT. REQUIRED
 TYP. VENT $\frac{1104}{144} \times .75 = 5.1$ SQ. FT. PER VENT**
 VENTS REQUIRED $\frac{7.03}{5.1} = 1.38$ USE MIN. OF 4 VENTS
 MIN. (4) RM VENTS REQUIRED OR (1) WITHIN 3'-0" OF EACH CORNER, WHICHEVER IS GREATER.

NOTES:

- ① 18" x 24" FRAME-OUT FOR CRAWL ACCESS.
- ALL FLOOR JOISTS TO BE 14" T.J.J. 230s
• 16" O.C. UNLESS NOTED OTHERWISE.
- ALL FLOOR JOIST TO BE BLOCKED
• BEARING.
- SEE FNDN. PLAN FOR BEAM SIZES.
- GLUE & NAIL 3/4" TAG PLYWOOD FOR FLOOR DECKING
- INSULATION IN FLOOR SYSTEM TO BE R-30 OR BETTER

<p>HOMEDESIGNS 121 27TH ST SE 98034 C/O (425) 427-6293</p> <p>NORTHWEST L.L.C.</p>	
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<p>PROJECT TITLE: ROSTAD RESIDENCE</p>	<p>DATE: 1-28-08</p>
<p>MAIN FLOOR FRAMING PLAN</p>	
<p>SITE ADDRESS: 980XX 126TH AVE NE KIRKLAND, WA 98033</p>	<p>FILE NO.: 0100</p>
<p>SHEET</p>	
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MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"

TUBS & SHOWERS:

- FIREBLOCK BETWEEN STUDS.
- LIMIT SHOWER FLOW TO 2 GPM.
- WALLS SHALL BE WATERPROOF TO MIN. 10" ABOVE DRAIN INLET.
- ALL GLAZING INCLUDING WINDOWS WITHIN 10" OF DRAIN INLET TO BE SAFETY GLASS.

NOTES:

- ALL CONSTRUCTION AND FINISH WORK WILL BE EQUAL TO THE QUALITY OF MATERIALS AND WORKMANSHIP AS THE EXISTING CONSTRUCTION LOCATED AT 1025 126TH ST. ST, BELLEVUE, WA.
- ALL BEAMS & HEADERS TO BE 4x8 DF, 2" UNO.
- ALL GLU-LAM BEAMS TO BE ASSUMED 24" V4 UNO.
- TYPICAL PLATE TO BE 8" x 18" UNO.
- TOP OF WINDOWS TO BE # 6" x 16" UNO.
- ALL EXTERIOR WALLS TO BE 2x6 # 16" OC, UNLESS NOTED OTHERWISE.
- ALL EXTERIOR WALLS TO BE INSULATED w/ R-21 INSULATION.
- ■ DENOTES DOUBLE TRIFTERS AT EACH END OF HEADER THAT SPANS 6'-0" OR GREATER.
- ■ DENOTES MULTIPLE STUDS UNDER POINT LOADS. SEE PLAN FOR NUMBER OF STUDS REQUIRED.
- ○ ALL SMOKE DETECTORS TO BE HOT WIRED AND INTERCONNECTED w/ BATTERY BACKUP.
- SMOKE DETECTOR TO BE ON THE CEILING INSIDE THE DOOR OF EACH BEDROOM.
- SMOKE ALARMS TO BE AUDIBLE IN ALL BEDROOMS AND SLEEPING AREAS.
- ALL HOUSE/GARAGE COTTON WALLS TO BE SHEATHED w/ 1/2" GWB. 5/8" TYPE "X" ON GARAGE CEILINGS w/ LIVING SPACE ABOVE.
- ALL ENCLOSED USEABLE SPACE UNDER STAIRS TO BE SHEATHED w/ 1/2" GWB.
- ALL WINDOWS WITHIN 18" OF THE FLOOR OR WITHIN 24" OF DOOR SINGS, TUBS, AND SHOWERS, TO BE TEMPERED SAFETY GLASS.
- DOOR BETWEEN HOUSE & GARAGE TO BE 1 3/8" SOLID CORE 1 HR RATED FIRE DOOR.
- FIRE BLOCKING REQUIRED AT 10'-0" INTERVALS VERTICALLY IN WALLS.
- FIRE BLOCK AT ALL PLUMBING PENETRATIONS.
- HANDRAIL # 34" x 36" ABS. TREAD NOSING.
- INSTALL FIREPLACES PER MANUFACTURER'S SPECS.
- VENT ALL FANS & DRYER EXHAUST TO OUTSIDE.
- PROVIDE EGRESS WINDOWS IN ALL SLEEPING ROOMS.
- ① - 22"x30" ATTIC ACCESS
- ② - 18"x24" CRAWL ACCESS
- ③ - 0" CLEARANCE METAL OR DIRECT VENT GAS FIP. INSTALL PER MANUFACTURER'S SPECS. PREPARE FIP TO BEAR THE STAMP OF AN APPROVED TESTING LAB. PROVIDE 6" OUTSIDE AIR HEARTH PER BUILDER/OWNER.
- ④ - WHOLE HOUSE FAN - MIN. 150 CFM - MAX. 225 CFM.

AREA SUMMARY:

BASMENT FLOOR	• 532 SF.
MAIN FLOOR	• 2261 SF.
UPPER FLOOR	• 035 SF.
BONUS ROOM	• 65 SF.
TOTAL	• 3493 SF.

DATE:
1-28-08

SITE ADDRESS:
902X 126TH AVE NE
KIRKLAND, WA 98033

PROJECT TITLE:
ROSTAD RESIDENCE

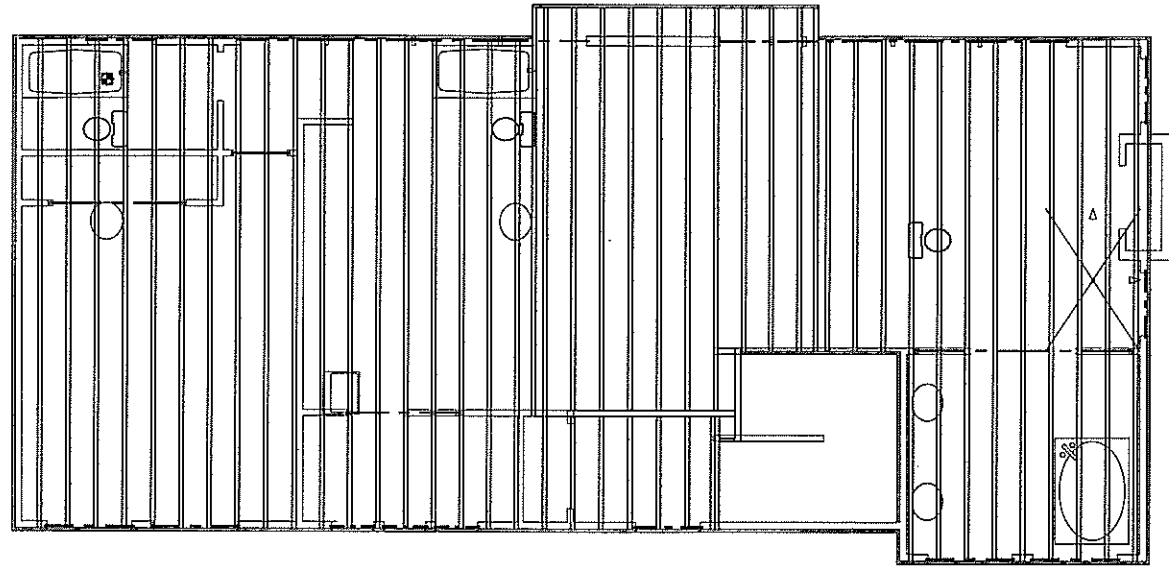
MAIN FLOOR PLAN

FILE NO.:

0100

SHEET

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UPPER FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

NOTES:

- ALL FLOOR JOISTS TO BE 11 7/8" T.J.J. 2369
- 16" OC UNLESS NOTED.
- ALL FLOOR JOIST TO BE BLOCKED AT BEARING.
- MIN. 2" BEARING @ END OF JSTS.
- SEE MAIN FLOOR SHEET 3 FOR BEAM'S SIZES.
- GLUE + NAIL 3/4" T&G PLYWOOD FOR FLOOR DECKING

HOMEDESIGNS
NORTHWEST
L.L.C.
110 27th, 1st Fl. NE
Kirkland, WA 98034
(425) 821-6253

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DATE:
1-28-08

SITE ADDRESS:
90XX 126TH AVE NE
KIRKLAND, WA 98033

PROJECT TITLE:
ROSTAD RESIDENCE

UPPER FLOOR FRAMING PLAN

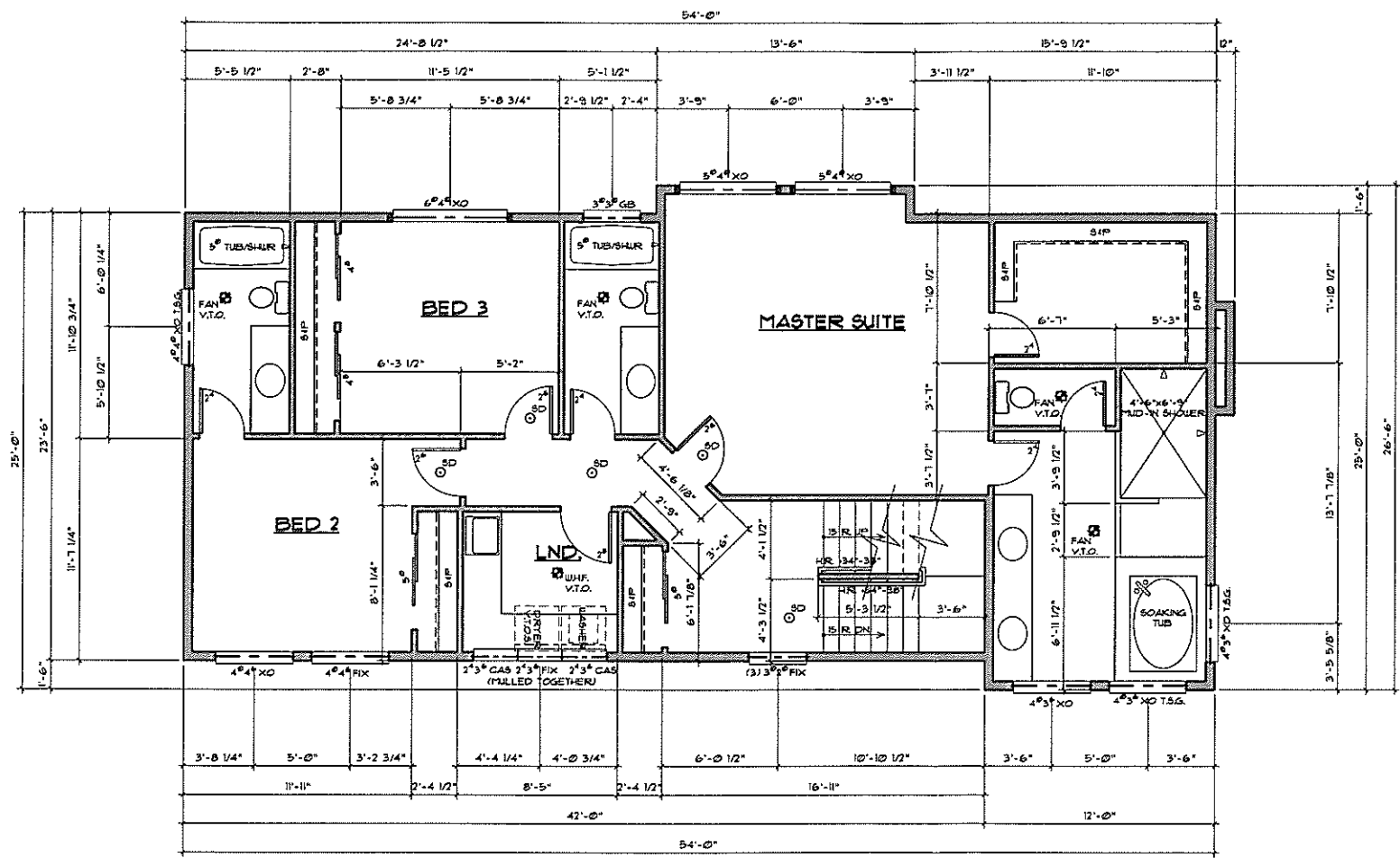
FILE NO:

0100

SHEET

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UPPER FLOOR PLAN
 SCALE: 1/4" = 1'-0"

TUBS & SHOWERS:

- FIREBLOCK BETWEEN STUDS.
- LIMIT SHOWER FLOW TO 3 GPM.
- WALLS SHALL BE WATERPROOF TO MIN 10" ABOVE DRAIN
- ALL GLAZING INCLUDING WINDOWS WITHIN 10" OF DRAIN INLET TO BE SAFETY

NOTES:

- ALL BEAMS & HEADERS TO BE 4x8 DF, 12 UNO.
- ALL GLU-LAM BEAMS TO BE ASSUMED 24F-V4 UNO.
- TYPICAL PLATE TO BE 8'-1 1/8" UNO.
- TOP OF WINDOWS TO BE 6'-10" UNO.
- ALL EXTERIOR WALLS TO BE INSULATED w/ R-21 INSULATION.
- ■ DENOTES DOUBLE TRIMMERS AT EACH END OF HEADER THAT SPANS 8'-0" OR GREATER
- ■ DENOTES MULTIPLE STUDS UNDER POINT LOADS SEE PLAN FOR NUMBER OF STUDS REQUIRED
- ○ ALL SMOKE DETECTORS TO BE HOT WIRED AND INTERCONNECTED
- SMOKE ALARMS TO BE AUDIBLE IN ALL BEDROOMS AND SLEEPING AREAS.
- ALL HOUSE/GARAGE COMMON WALLS TO BE SHEATHED w/ 1/2" GWB, 5/8" TYPE "X" ON GARAGE CEILINGS w/ LIVING SPACE ABOVE.
- ALL ENCLOSED USEABLE SPACE UNDER STAIRS TO BE SHEATHED w/ 1/2" GWB.
- ALL WINDOWS WITHIN 18" OF THE FLOOR OR WITHIN 24" OF DOOR SINGS, TUBS, AND SHOWERS, TO BE TEMPERED SAFETY GLASS.
- FIRE BLOCKING REQUIRED AT 10'-0" INTERVALS VERTICALLY IN WALLS.

- HANDRAIL @ 34"-38" ADV, TREAD NOSING
- VENT ALL FANS & DRYER EXHAUST TO OUTSIDE
- ① - 22"x30" ATTIC ACCESS
- ② - WHOLE HOUSE FAN - SEE ENERGY CODE SHEET

DATE:
 1-28-08

SITE ADDRESS:
 90XX 126TH AVE NE
 KIRKLAND, WA 98033

PROJECT TITLE:
 ROSTAD RESIDENCE

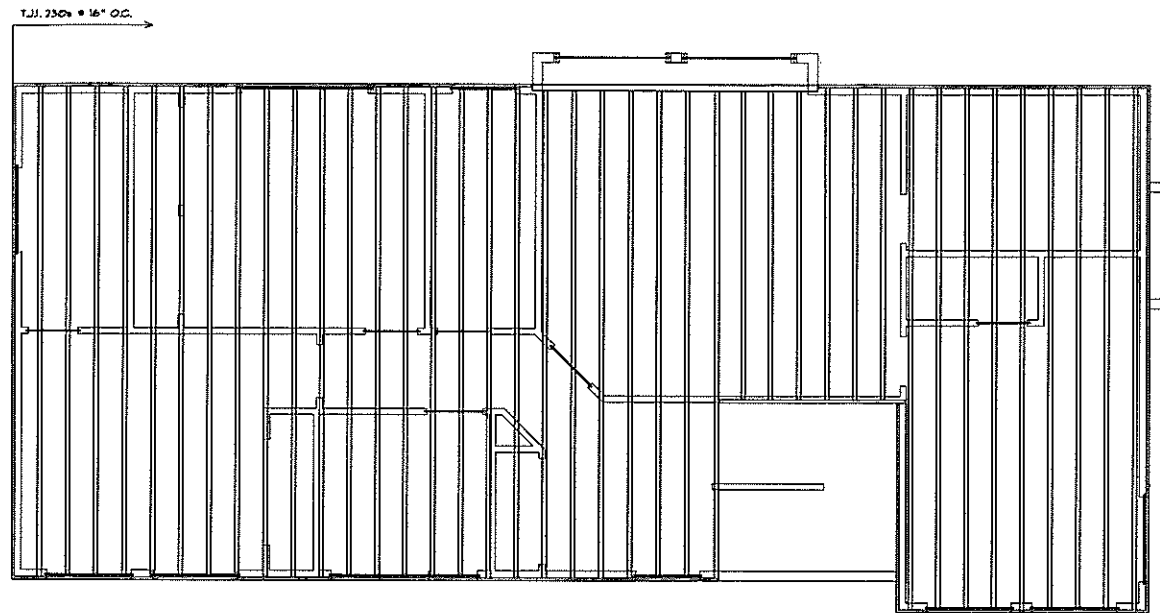
UPPER FLOOR PLAN

FILE NO.:

0100

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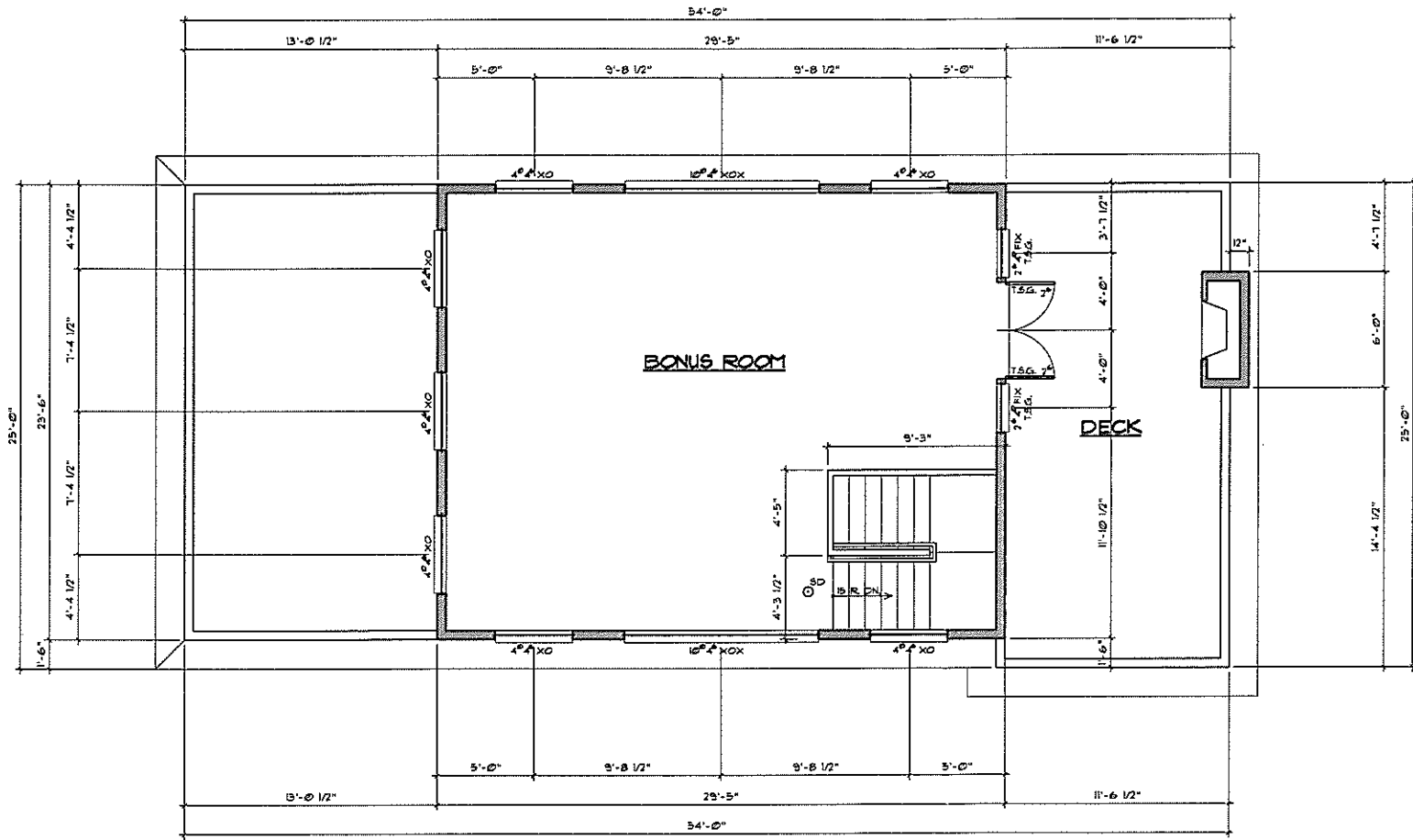
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ROOF FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

<p>PROJECT TITLE: ROSTAD RESIDENCE</p>		<p>SITE ADDRESS: 962X 126TH AVE NE KIRKLAND, WA 98033</p>		<p>DATE: 1-28-08</p>		<p>HOMEDESIGNS NORTHWEST LLC 211 27TH ST SE, SUITE 200 KIRKLAND, WA 98033 (425) 427-8293</p>
<p>FILE NO.: 0100</p>		<p>ROOF FRAMING PLAN</p>		<p>No drawing is copyrighted and is to be used only for the construction of the subject project by the contractor. Any other use, reproduction, or distribution of this drawing without the written consent of Home Design Northwest, LLC is strictly prohibited. All drawings are the property of Home Design Northwest, LLC. The contractor shall be responsible for obtaining all necessary permits and approvals. This office will be notified of any variations from the drawings and/or conditions of the contract. The contractor shall accept full responsibility for costs to rectify any errors on the work, or the contractor shall accept full responsibility for costs to rectify any errors on the work.</p>		
<p>SHEET</p>		<p>7 of 12</p>				



ROOF FLOOR PLAN
SCALE: 1/4" = 1'-0"

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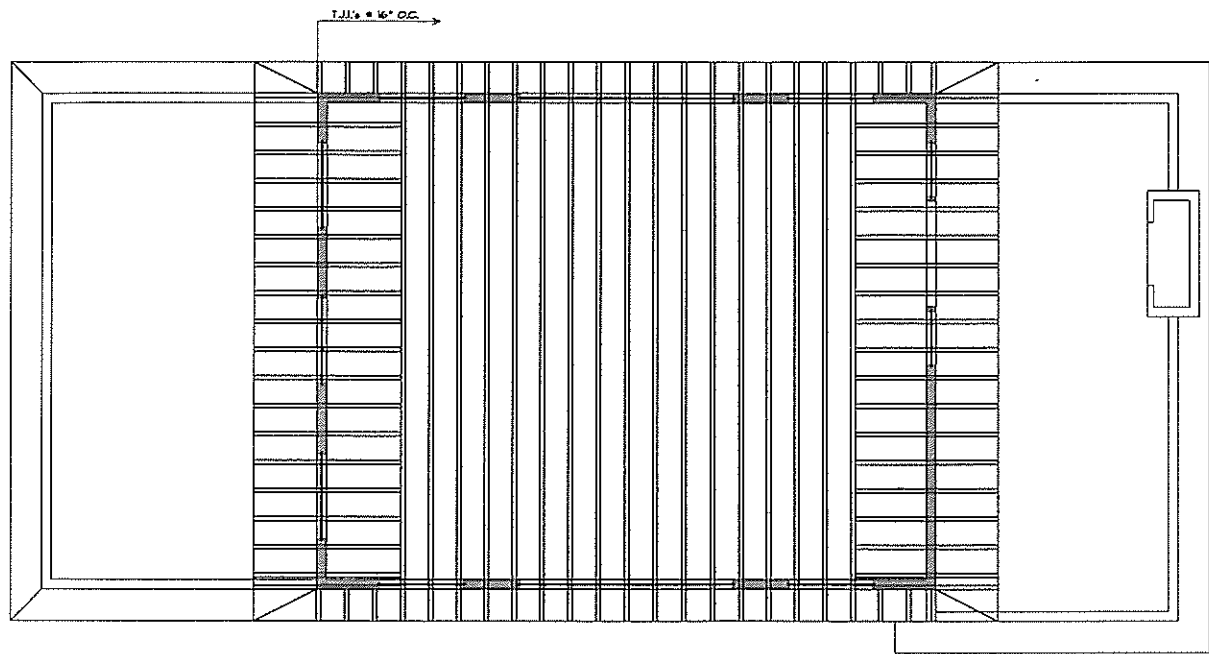
DATE:
1-28-08

SITE ADDRESS:
900XX 126TH AVE NE
KIRKLAND, WA 98033

PROJECT TITLE:
ROSTAD RESIDENCE
ROOF FRAMING PLAN

FILE NO:
0100
SHEET

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ROOF FLOOR PLAN
SCALE: 1/4" = 1'-0"

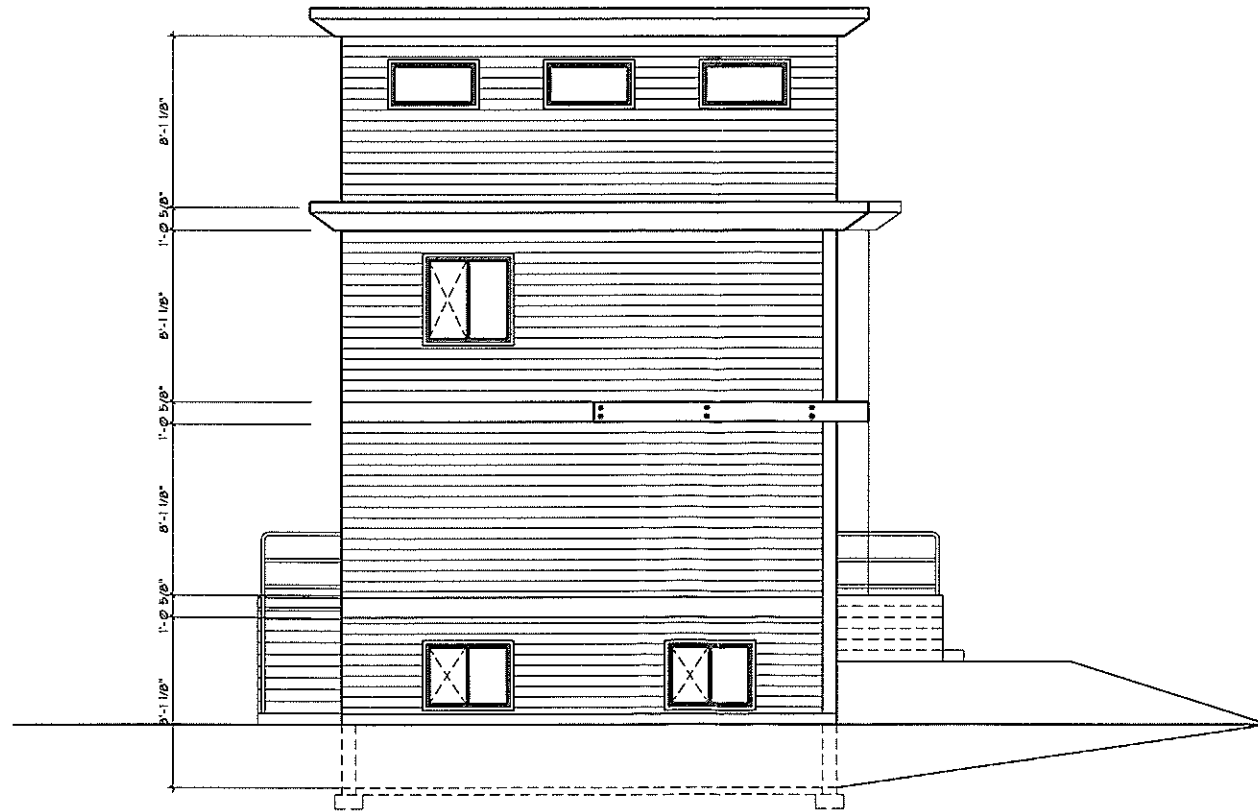
<p>PROJECT TITLE: ROSTAD RESIDENCE</p>		<p>SITE ADDRESS: 90XX 126TH AVE NE KIRKLAND, WA 98033</p>	<p>DATE: 1-28-08</p>	<p>HOMEDESIGNS NORTHWEST LLC 301 22TH ST SE W3504 DOTHEN, WA 98071 425-467-8653</p>
<p>FILE NO: 0100</p>		<p>ROOF FRAMING PLAN</p>		
<p>SHEET</p>		<p>9 of 12</p>		

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FRONT ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

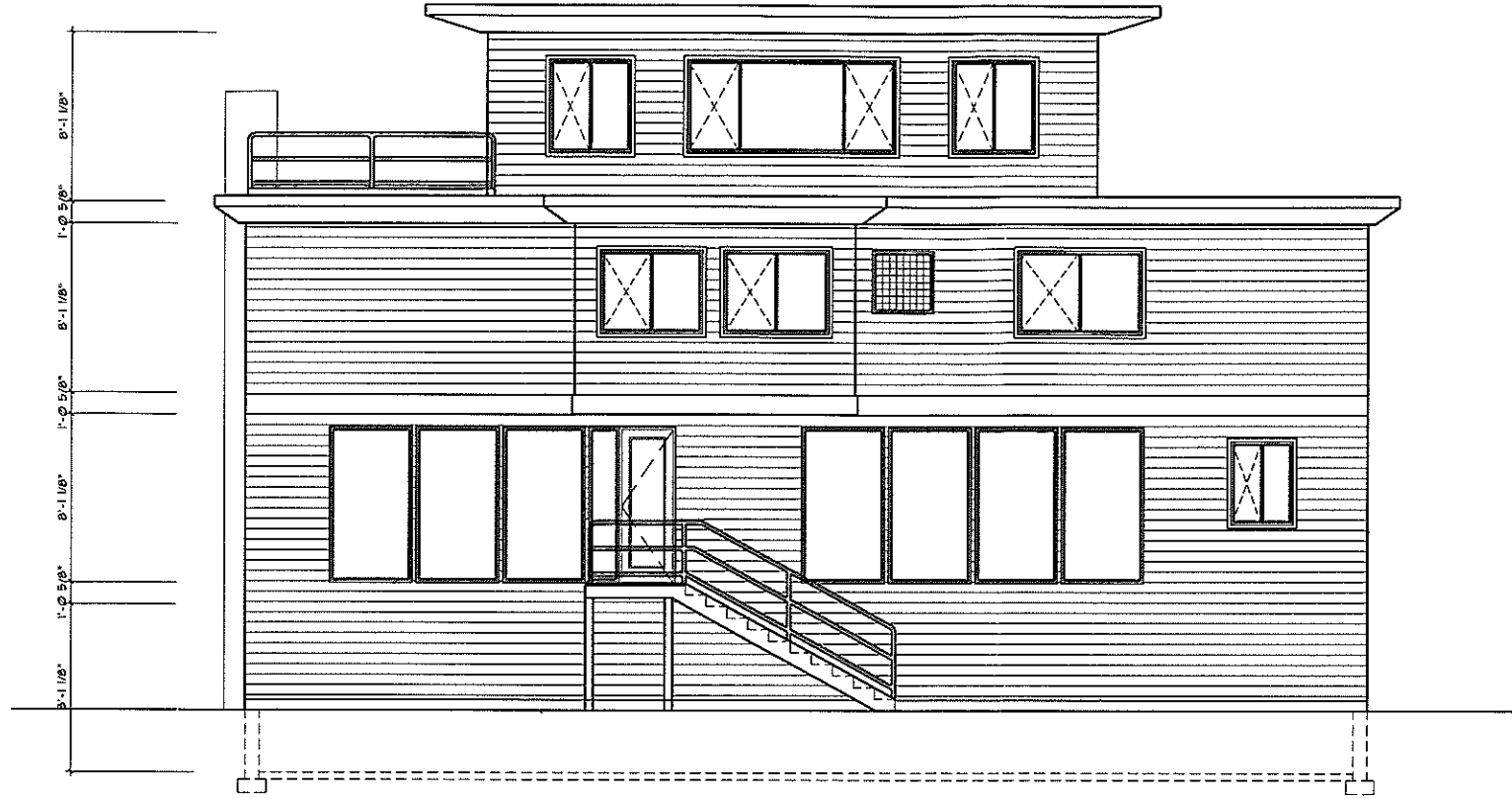
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DATE:
1-28-08

SITE ADDRESS:
90XX 126TH AVE NE
KIRKLAND, WA 98033

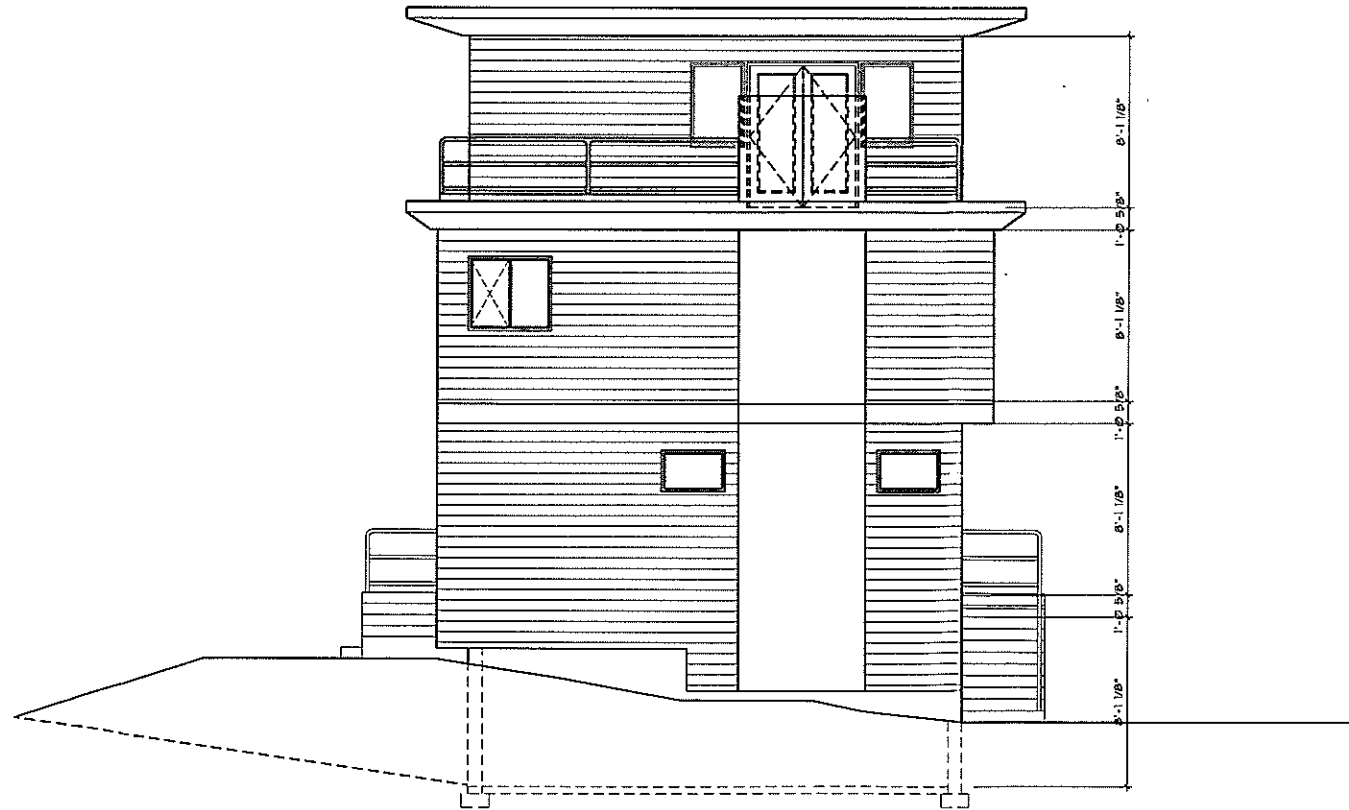
PROJECT TITLE:
ROSTAD RESIDENCE
ELEVATIONS

FILE NO:
0100
SHEET



REAR ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

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DATE:
1-28-08

SITE ADDRESS:
90XXX 126TH AVE NE
KIRKLAND, WA 98033

PROJECT TITLE:
ROSTAD RESIDENCE

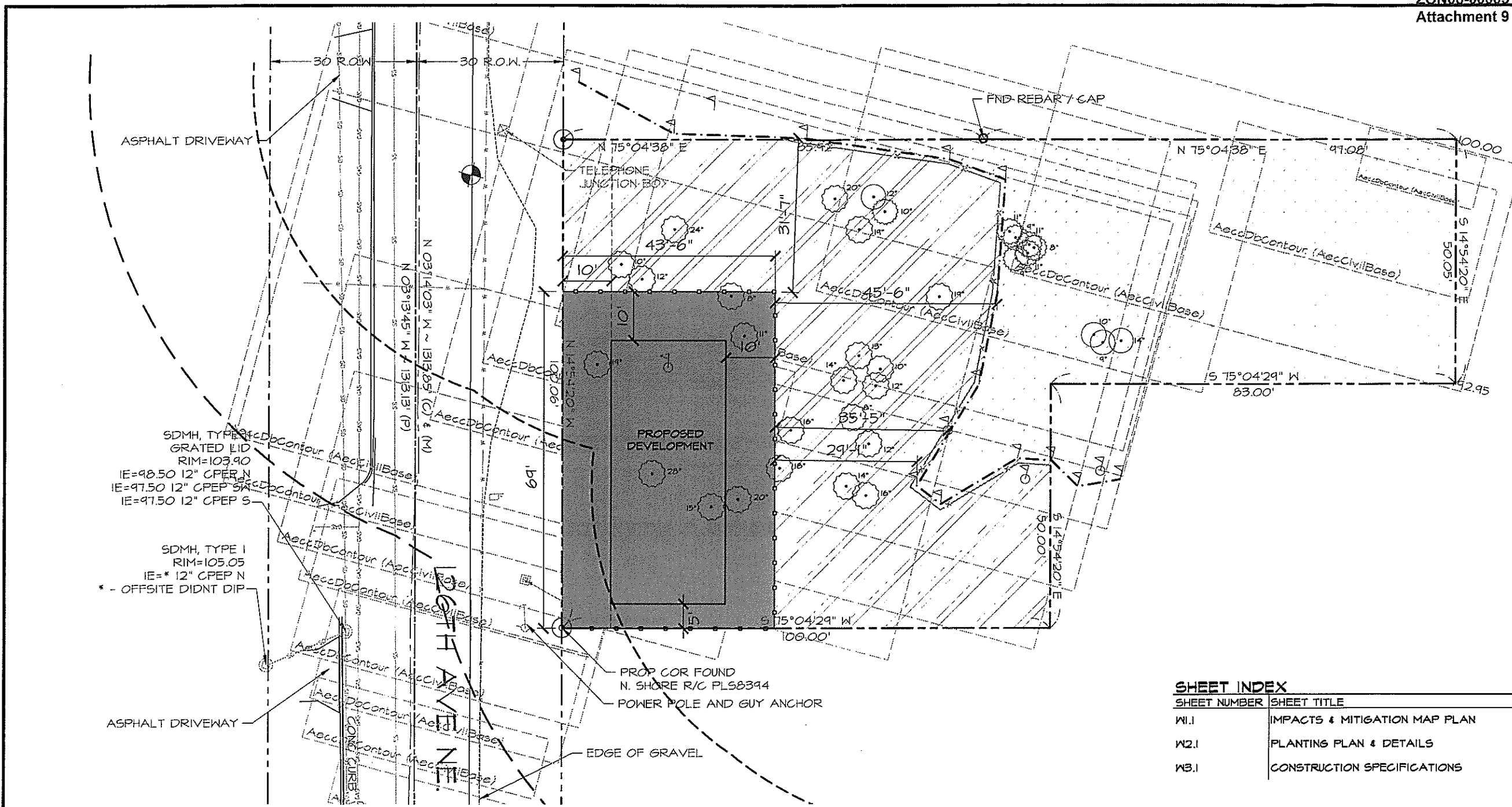
ELEVATIONS

FILE NO:

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SHEET

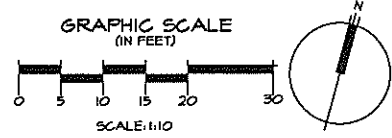
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SHEET INDEX

SHEET NUMBER	SHEET TITLE
W1.1	IMPACTS & MITIGATION MAP PLAN
W2.1	PLANTING PLAN & DETAILS
W3.1	CONSTRUCTION SPECIFICATIONS

IMPACTS & MITIGATION PLAN



PLAN LEGEND

- PROPERTY LINE
- WETLAND BOUNDARY
- 100' BUFFER
- 66.6' BUFFER
- BSBL
- CLEARING LIMITS
- EXISTING ALDER
- EXISTING COTTONWOOD
- EXISTING WILLOW
- SPLIT-RAIL FENCE & SILT FENCE

IMPACT LEGEND

- BUFFER IMPACT 3,000 SF

MITIGATION LEGEND

- BUFFER ENHANCEMENT 5,920 SF



NOT FOR CONSTRUCTION
THESE PLANS HAVE BEEN SUBMITTED TO THE APPROPRIATE AGENCIES FOR REVIEW AND APPROVAL. UNTIL APPROVED, THESE PLANS ARE SUBJECT TO REVISION

- NOTES**
- SURVEY PROVIDED BY WHITE SHIELD, INC., 1520 140TH NE, SUITE 100, BELLEVUE, WA 98005, (425) 641-1800.
 - ALL BLACKBERRY AND REED CANARYGRASS WITHIN THE BUFFER ENHANCEMENT AREA SHALL BE REMOVED. AOA TO REVIEW INVASIVE REMOVAL PRIOR TO PLANTING.
 - NATIVE WOODY SHRUBS AND SHADE TOLERANT CONIFERS SHALL BE PLANTED UPON COMPLETION OF WEED REMOVAL.
 - MITIGATION AREA TO BE AMENDED WITH WEED-FREE ORGANIC COMPOST, TILLED INTO EXISTING SOIL TO A DEPTH OF 6 INCHES, AND BLANKETED WITH A 4 INCH LAYER OF HOSFUEL COMPOST.
- APPROVED FOR CONSTRUCTION
- By: _____
Date: 1-28-09
CITY OF KIRKLAND DEPARTMENT OF DEVELOPMENT AND ENVIRONMENTAL SERVICES
- DATE: _____

FINAL MITIGATION PLAN
IMPACTS & MITIGATION PLAN
ROSTAD PROPERTY
KIRKLAND, WASHINGTON

Revisions
Date
By
City Comments

Date: 1-28-09
Scale: AS NOTED
Project: 1858

Sheet # W1.1

